

CITY OF ENCINITAS

OFF-STREET PARKING DESIGN MANUAL



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Amended February 10, 2000 – Resolution PC 2000-10

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INTRODUCTION

This Off-Street Parking Design Manual implements Encinitas Municipal Code (“EMC”) Section 30.54.040 (Off-Street Parking Development Standards) of the Zoning Ordinance:

The purpose of these parking regulations is to provide parking areas which are functional in design and adequately landscaped and screened to minimize their visual, noise, and headlight impact, particularly when adjoining residential areas. Specific parking regulations are contained in EMC Chapter 30.54 (Off-Street Parking). Also, landscaping requirements are found in EMC Section 30.54.060 (Parking Area Landscaping). In designing a parking area, the following is especially important:

i. SIZE OF PARKING SPACES.

Standard (Enclosed or Unenclosed): 8.5 feet x 18 feet

Standard Parallel: 8 feet x 21 feet

ADA Accessible: 14 feet x 18 feet

Tandem Unenclosed: 8.5 feet x 36 feet

Tandem Enclosed: 8.5 feet x 38 feet

ii. BICYCLE PARKING SPACES.

Most uses, particularly office and retail, also require bicycle parking spaces pursuant to EMC Section 30.54.030(C) (Schedule of Required Off-Street Parking).

Size of Bicycle Parking Spaces:

Uncovered = 2 feet x 6 feet

Enclosed = 3.25 feet x 6 feet

iii. LOCATION OF PARKING SPACES.

Some zones require parking to observe certain setbacks. See Section 1(F) of this Manual and EMC Sections 30.20.010(D) (Commercial Zones – Development Standards) and 30.24.010(D) (Light Industrial Zones – Development Standards).

Required parking shall not be located within the front yard/street side yard setbacks, outside the necessary access drive, except as outlined below in Section 1(D).

iv. LANDSCAPING.

The commercial, office professional, and industrial zones require landscape strips along street frontages and adjacent to residential zones. See EMC Sections 30.20.010(D) (Commercial Zones – Development Standards) and 30.24.010(D) (Light Industrial Zones – Development Standards). All zones see EMC Section 30.54.060(E) (Parking Area Landscaping) which requires that 15% of a parking area (including all parking stalls, circulation and loading areas) be landscaped.

v. FENCING.

Parking areas in non-residential developments abutting residentially-zoned property are required to be screened by a solid fence or wall. See EMC Sections 30.20.010(D) and 30.24.010(D).

SECTION I. PARKING AREA REQUIREMENTS

- A. **LOCATION OF COVERED OR ENCLOSED PARKING.** Covered or enclosed parking spaces shall be located anywhere on a building site where a structure may be located.
- B. **LOCATION OF OPEN PARKING SPACES.** Open parking spaces shall be located outside the ultimate right-of-way of any street, and as follows:

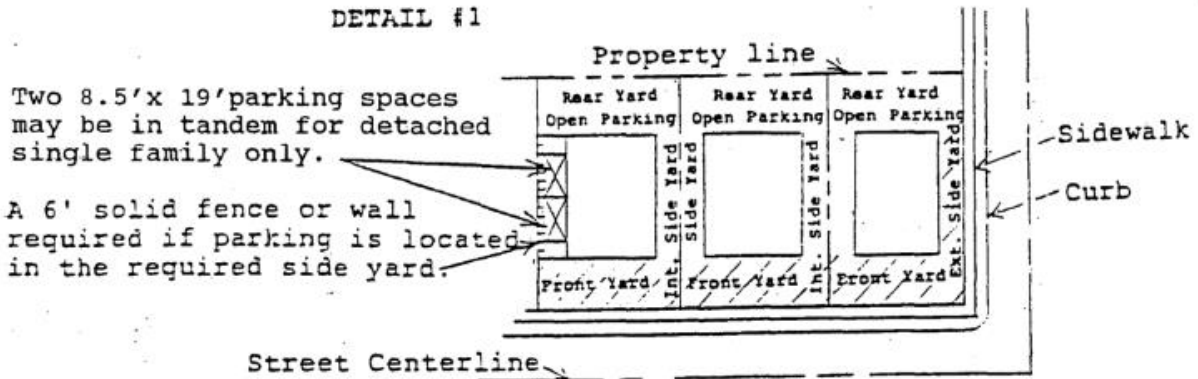
ZONE USE REGULATION	YARDS				DETAIL See F of this section
	FRONT	SIDE (int.)	SIDE (ext.) Corner Lot	REAR	
All Residential	x	-	+	-	#1
All Commercial and Office Professional	*	-	.	-	#2 and #3
All Industrial	*	-	.	-	#3

- . = Parking Permitted
- = Parking Permitted – When separated from adjacent property by a six-foot high solid fence or wall.
- * = Parking Not Permitted – In any required planting strip
- + = Parking Prohibited
- x = Parking Prohibited except in required access driveways to a garage.

- C. **BICYCLE SPACE RACKS OR LOCKERS.** Bicycle spaces shall provide bicycle racks or lockers for security and shall be located:
1. As close and accessible to the use or building served as is the most convenient motor vehicle parking (other than accessible parking).
 2. As close to building entrances as is practical while maintaining a minimum access aisle of five feet without interfering with pedestrian traffic.
 3. At ground level.
- D. **PARKING LOCATION EXCEPTIONS.** A use permit, variance, design review, or administrative permit may specify the location of parking areas and bicycle spaces in locations other than as permitted by all of the above.
- E. **RELATIONSHIP OF PARKING AREA TO BUILDING SERVED.** All required vehicular and bicycle parking spaces shall be located on the same lot as the use or structure they serve, unless one of the following conditions are met:
1. If an irrevocable access and/or parking easement is obtained, the required parking may be located on an adjacent site; and
 2. If a minor use permit is approved for a joint use parking agreement, or for a valet parking plan, the required parking may be located on another lot.

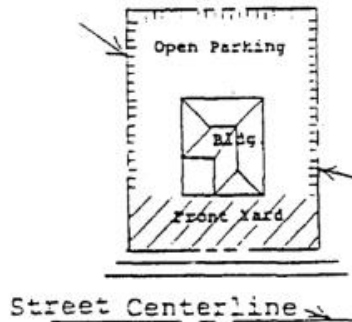
F. LOCATION OF PARKING FOR DEVELOPMENT PROJECTS

Parking prohibited in shaded areas.



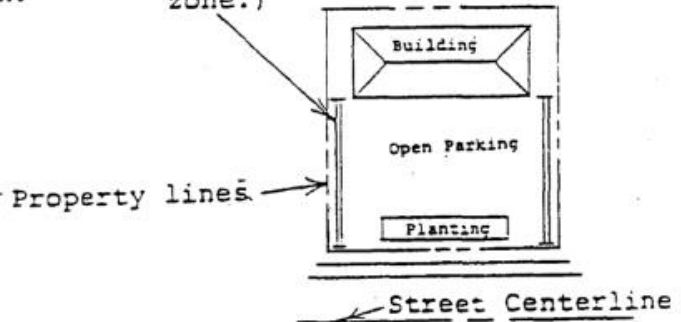
DETAIL #2

A 6' high solid fence or wall required when parking areas abut any zone subject to a residential use regulation.



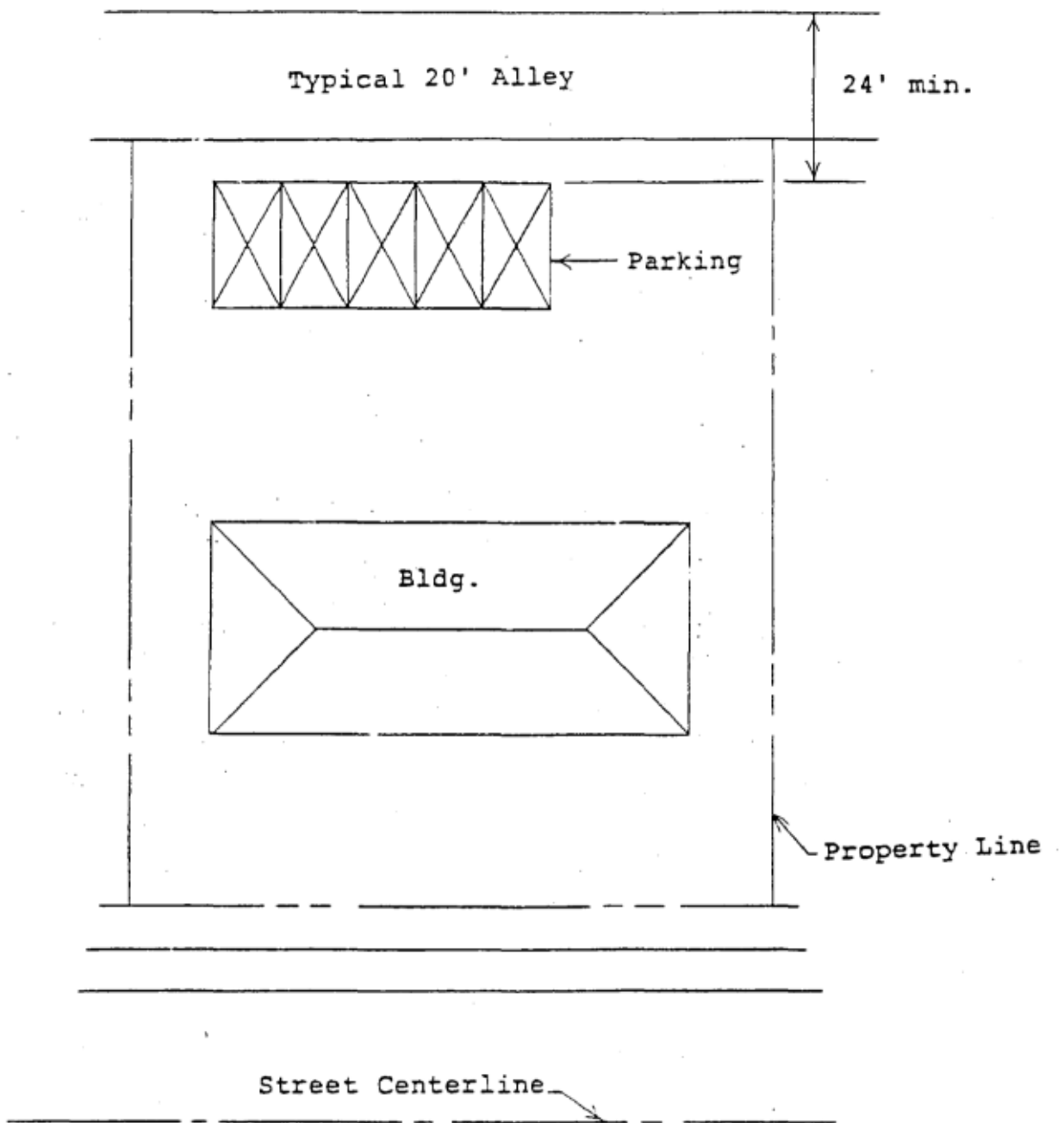
DETAIL #3

Curb required if no fence or wall installed. (A 6' high solid fence or wall when abutting a residential zone.)



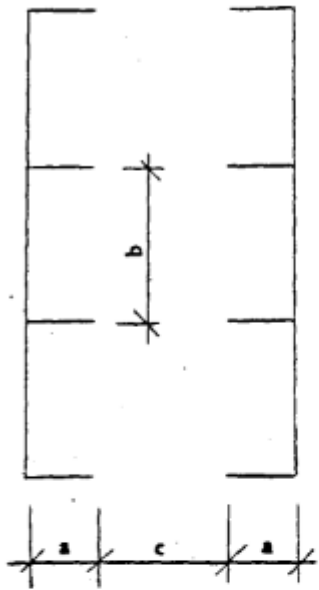
G. LOCATION OF PARKING FROM ALLEY

For all projects abutting an alley, a minimum 24-foot back-up distance shall be provided.

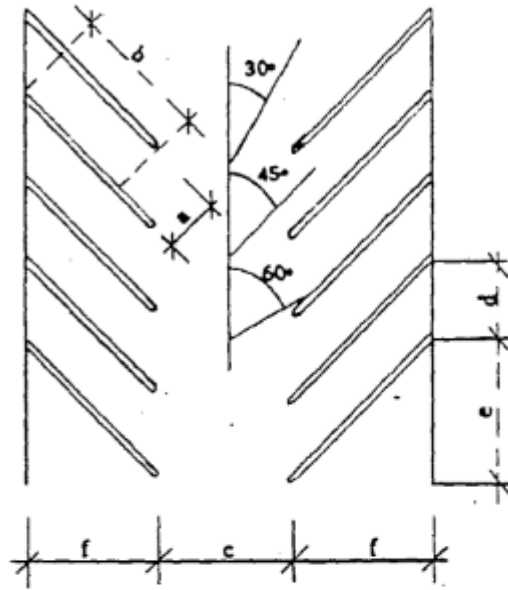


H. PARKING LOT DIMENSIONS – FIVE OR MORE SPACES
 (Residential and Non-Residential Uses)

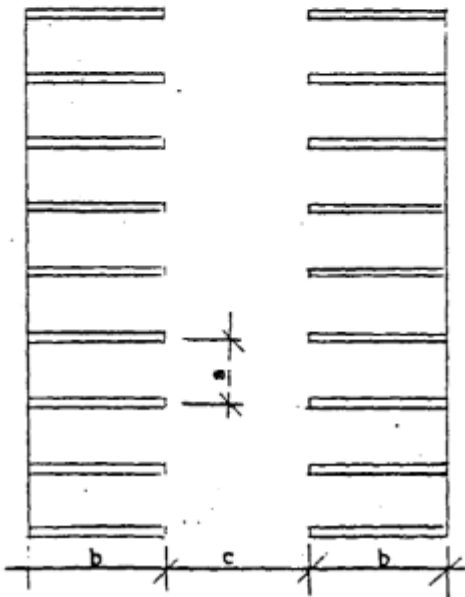
0° PARKING



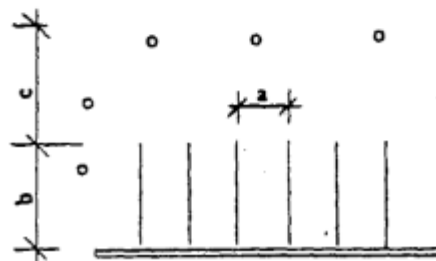
30°, 45°, 60° PARKING



90° PARKING



MOTORCYCLE & BICYCLE PARKING SPACES



MINIMUM DIMENSIONS FOR REQUIRED VEHICULAR PARKING SPACES					
Dimension Indicator	0°	30°	45°	60°	90°
a	8 feet	8 feet – 6 inches	8 feet – 6 inches	8 feet – 6 inches	8 feet – 6 inches
b	21 feet	18 feet	18 feet	18 feet	18 feet
c	15 feet	14 feet*	14 feet*	18 feet*	24 feet
d		17 feet	12 feet	9 feet – 10 inches	
e		28 feet – 4 inches	18 feet – 9 inches	11 feet – 5 inches	
f		16 feet – 4 inches	18 feet – 9 inches	19 feet – 10 inches	

* Minimum of 22 feet for two-way traffic. However, aisles necessary for fire and emergency equipment access must be a minimum of 24 feet wide except where allowed by applicable codes.

MOTORCYCLE & BICYCLE PARKING SPACES			
Dimension Indicator	Motorcycle	Bicycle	
		Open	Enclosed (Bike Lockers)
a	3 feet – 6 inches	2 feet	3 feet – 3 inches
b	7 feet	6 feet	6 feet
c	8 feet	5 feet	5 feet

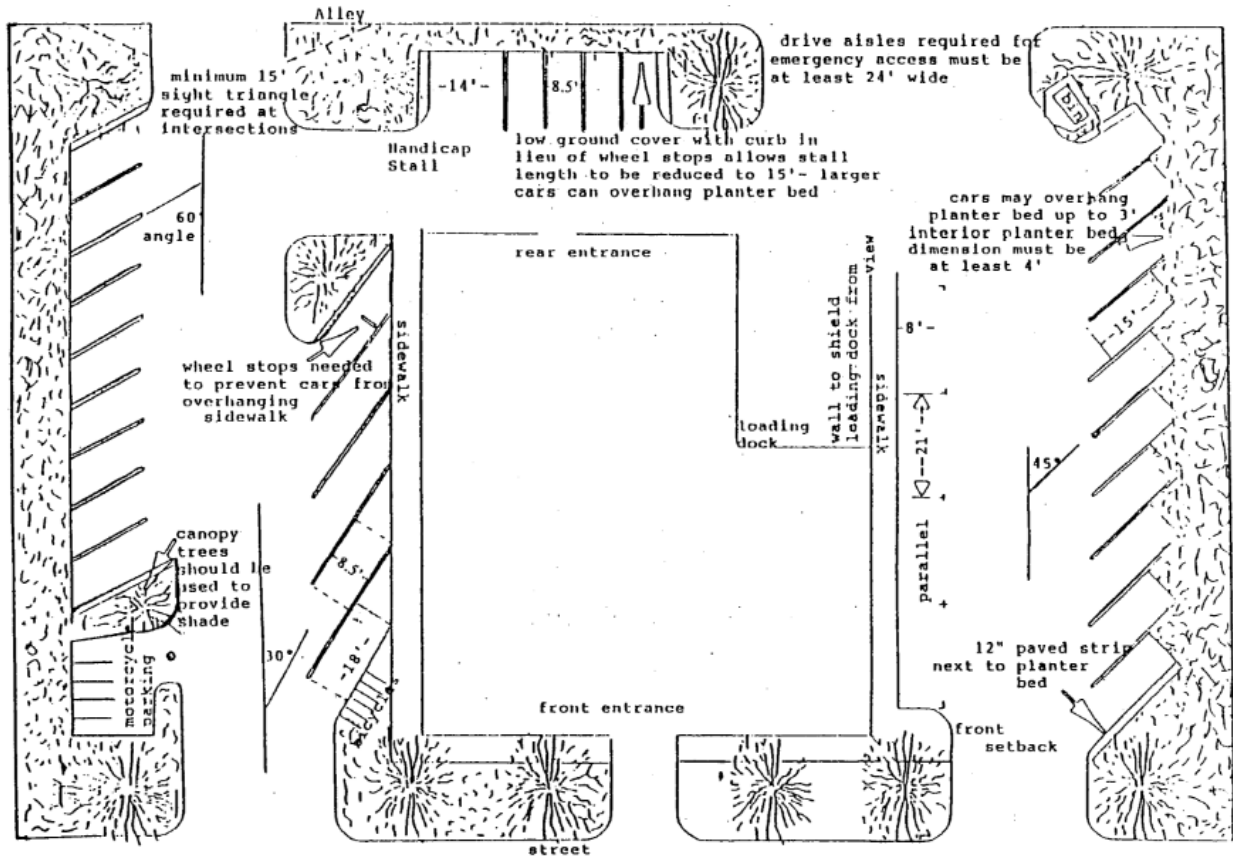
* All spaces shall be protected by a fence, wall, or four-inch high curb, or by a four-inch steel pipe at three feet and five feet off-center, three feet above the ground.

* Bicycle storage facilities and motorcycles shall be protected by a barrier to minimize vehicles from striking parked bicycles and motorcycles.

I. ACCESSIBLE PARKING REGULATIONS

Accessible parking space requirements shall count toward fulfillment of all automobile parking requirements. Accessible parking requirements are established by the State of California and shall be in accordance with California Title 24 Accessibility Guidelines. All Accessible spaces are required to be identified by symbols or lettering.

J. PARKING LOT LAYOUT



K. ADDITIONAL PARKING STANDARDS

1. The width of a parking space shall be increased by two feet when adjacent to fences and walls.
2. A minimum of a 12-inch wide walk shall be provided adjacent to parking stalls when the stall is next to a landscaped area and shall be separated from vehicular areas by a four-inch high by six-inch wide concrete curb or other treatment approved by the Director of Development Services.
3. A five-foot backing area is required when there are more than four spaces (based on an 8'-6" wide space.) This is required for emergency access when there is a "dead-end" within the parking area and vehicles need to be able to pull out and back up.
4. A six-foot high solid fence or wall is required when the parking area abuts a residential use or zone, except the height shall be limited to four feet when located in the front yard or exterior side yard area.
5. For minimum width driveways serving five or more spaces, the edge of driveway shall be at least two feet from eaves.
6. Minimum Width of Driveway:

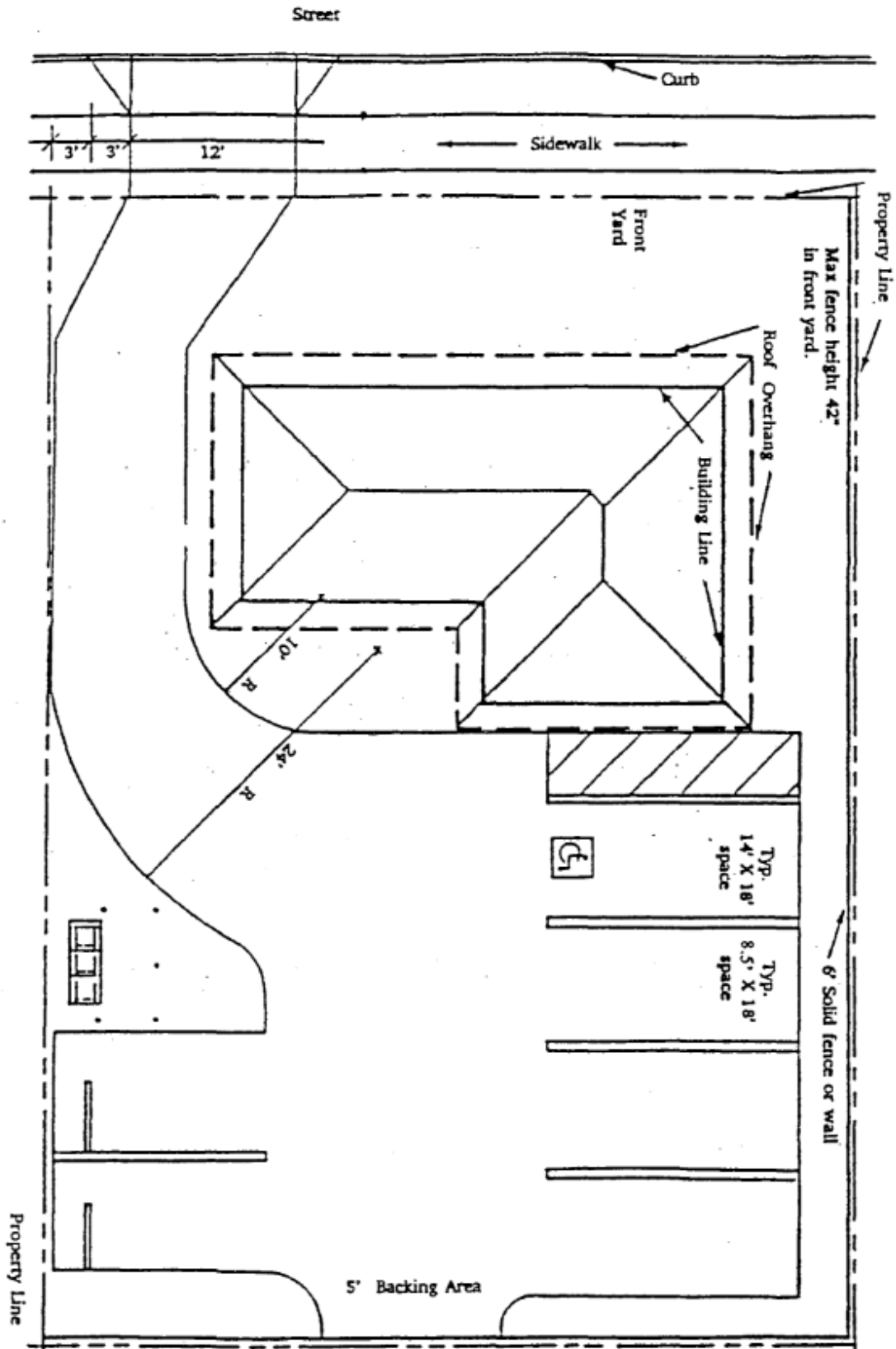
MINIMUM WIDTH OF DRIVEWAY		
# of Spaces	Min. Width	Max. Length for Under 18 feet Wide*
1-4	10 feet	None
5-8	10 feet	80 feet
9-19	16 feet**	80 feet
20-up	18 feet	None***

* Provide at least 10 feet x 30 feet turn-out if longer driveway is required.

** Or provide separate 10-foot entrance and exit driveways (any length), provided no portion of a building may be more than 150 feet from a 16 feet wide access.

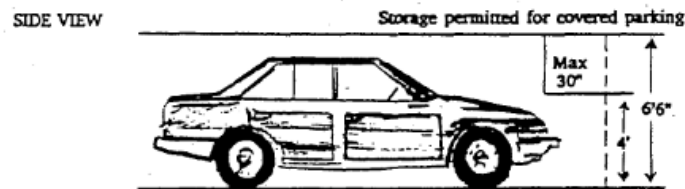
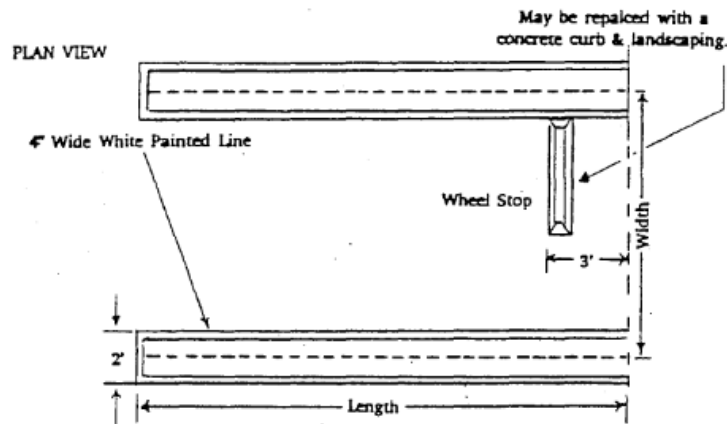
*** If driveway also serves another business, a 10-foot unobstructed minimum width is required.

PARKING - PLOT PLAN AND DETAILS

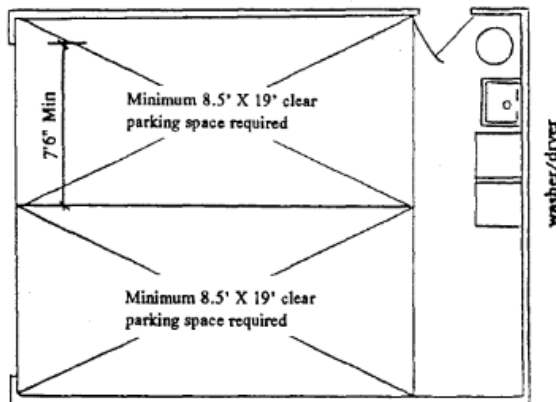


7. Speed bumps shall not be used in driveways or parking lots.
8. Drive aisles shall be limited to a maximum of 350 feet in length where feasible.
9. A five-foot backing area shall be provided at the end of a series of parking spaces in a dead-end drive aisle for both commercial and residential projects.
10. No more than 40% of the property frontage on residential lots, nor 60% of the property frontage on commercial lots, shall be allocated for driveway curb openings, except that lots having frontage of less than 45 feet are entitled to one 12-foot driveway, resulting in an 18-foot curb opening.

TYPICAL OFF-STREET PARKING SPACE



PRIVATE GARAGE



L. MISCELLANEOUS REQUIREMENTS FOR PARKING AREAS – (FIVE OR MORE SPACES, NONRESIDENTIAL, AND MULTIFAMILY RESIDENTIAL)

1. **ACCESS.** Parking area layouts shall be arranged so that vehicles do not exit by backing into a public street.
2. **GRADING AND DRAINAGE.** No parking area will be approved that has a minimum grade less than 0.5% or a maximum grading of more than 15%. No driveway to a parking area or space shall be approved with a surface grade exceeding 15%. Driveways with a surface grade exceeding 15%. Driveways with a surface grade over 10% shall not exceed 50 feet in length.
 - a. All surface drainage from any parking lot shall be collected and carried to the storm sewer in accordance with the City's Master Drainage Plan and in a manner acceptable to the City Engineer. In no case shall any surface drainage, either as concentrated flows or sheet flows, cross over the public sidewalk.
 - b. Water shall not be allowed to collect on asphalt covered surfaces. In larger lots concrete swales and/or gutters may be used in sections where water would otherwise settle and increase the rate of deterioration of the asphalt.
 - c. In lots with more than 200 spaces grease intercept systems approved by the Director of Community Development shall be installed to prevent oil and sand from entering storm drains.
3. **SURFACING.** All parking spaces and driveways shall be surfaced in accordance with the paving schedule (Item "M" of this Section).
4. **DIRECTIONAL INDICATORS.** Each parking area with more than one row of parking spaces shall have directional signs or painted directional markers to guide traffic.
5. **LIGHTING STANDARDS AND FIXTURES.** Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement.
 - a. A minimum lighting level of 0.2 foot-candles is required for all parking areas.
 - b. A maximum lighting level not to exceed 0.5 foot-candles at the property line pursuant to EMC Section 30.40.010(I) (Performance Standards—Residential Lighting Standards).
 - c. All lights provided to illuminate any loading space or parking area shall be so designed and adjusted so as to reflect light away from any public road or street, and away from any adjoining land on which a dwelling is located or which is zoned for other than business or industrial uses.
 - d. Light standards shall not exceed 18 feet in height to minimize impact on adjacent properties.
6. **WHEEL STOPS.** All parking spaces where walls, fences, or buildings abut driveways and parking stalls shall be improved with a wheel stop a minimum of four inches high where the space is abutting: adjacent property, a building, a landscape area, or a walkway. In lieu of a wheel stop adjacent to a landscape area, a concrete curb may be utilized in the

same location of a wheel stop (three feet from front edge of parking stall). Low ground cover shall be located within this 3-foot area. See diagram on Parking Lot Layout.

7. **STRIPING.** Parking spaces shall be delineated by a double-line striping consisting of four-inch wide painted white lines one to two feet apart, as shown in the “Typical Off-Street Parking Space” Figure in Section 1(K).
8. **WALLS AND FENCES.** All parking areas abutting property in any Residential Zone shall be separated from such abutting property by a properly maintained solid fence or wall six feet in height; except such fence or wall shall be four feet in height where said fence or wall abuts a front yard on adjacent property or that portion of any side or rear yard on adjacent property wherein the height of a fence or wall is limited to four feet.
9. **LANDSCAPING.** Any parking area shall be landscaped in conformance with requirements of EMC Section 30.54.060 (Parking Area Landscaping).
10. **LOADING SPACE** shall mean an off-street area, on the same lot with a building or a group of buildings not less than 10 feet wide, 35 feet long, and 14 feet high which affords adequate ingress and egress for trucks from a public street or alley, and which is permanently reserved, marked, and maintained for the temporary parking of commercial vehicles while loading or unloading merchandise or materials. Loading and unloading shall not obstruct access to any parking space. The Director of Development Services or the applicable governing body (Planning Commission or City Council) retains the discretion to allow a loading space smaller than the area defined herein, based upon justification provided by the project applicant. All Loading spaces are required to be identified by symbols or lettering.
11. **PASSENGER LOADING SPACE** shall mean an area which is not a drive aisle, on the same lot with a building, or group of buildings, which is permanently reserved, marked, and maintained for the temporary parking of vehicles while loading or unloading passengers. The space shall be a minimum of 10 feet wide and 18 feet in length if parked at an angle to the building or curb and must be at least 30 feet in length if parked parallel to a building or curb.
12. **OFFICE LOADING SPACE** shall mean an area which is near as practical to an accessible entrance. The space shall be a minimum of 10 feet wide and 18 feet in length if parked at an angle to the building and 30 feet in length if located parallel to a build or curb.
13. **PEDESTRIAN CIRCULATION** – Sidewalks to adjacent properties shall be provided as necessary to meet the expected pedestrian demand. Internal pedestrian circulation systems shall be integrated with the surrounding system of City sidewalks.
14. **MARGIN NOTES ON PARKING/LANDSCAPING PLANS.** Applicant shall note on the plans:
 - a. The number of total parking spaces required for each land use.
 - b. The total number of parking spaces provided, inclusive of typical vehicular parking spaces, loading spaces, ADA accessible parking spaces, and electric vehicle parking spaces.
 - c. The number of bicycle parking spaces required and provided.
 - d. The number of typical vehicular parking spaces provided.

- e. The number of accessible spaces provided.
- f. The number of loading and passenger loading spaces required and provided.
- g. The percentage of site area devoted to landscaping.
- h. The number of motorcycle spaces required and provided.
- i. The location of shopping cart collection areas if applicable.
- j. Location of trash enclosures within any parking lot area.
- k. Location, height, footcandles, and details of lighting fixtures.

M. PAVING THICKNESS SCHEDULE AND DETAILS

All parking spaces, loading spaces and driveways serving them (except those within the public right-of-way) shall be hard surfaced with a minimum of 2.0" of hot or cold mixed asphaltic concrete (A/C) surfacing or 4.0" of Portland cement concrete, or as required by the following schedule; provided, however, that areas designed for motorcycle parking shall use the 4.0" of portland cement concrete, or as required by the following schedule; provided, however, that areas designed for motorcycle parking shall use the 4.0" of portland cement concrete only.

Parking spaces and driveways accessory to one-family and two-family dwellings need not be surfaced with a more durable type or surfacing than that which exists on the street which provides access to the lot or building site upon which such dwelling is located. Parking spaces and driveways accessory to one-family and two-family dwellings may use paved wheelstrips or grass crete only for that portion of the driveway that is on private property. Required surfacing shall be placed on a suitably prepared base. Driveways within the public right-of-way shall conform to applicable public road standards.

PAVING THICKNESS SCHEDULE

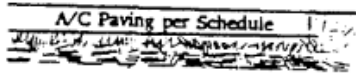
REQUIRED THICKNESS OF A/C AND SUBBASE*			
Existing Soil Classifications	Residential General Parking for Autos Serving Not More Than 4 Spaces	Multi-Family Commercial Store Frontage Parking	Commercial Heavy Duty Truck Loading and Parking
GOOD TO EXCELLENT BASE Decomposed granite, well graded sand and gravels which retain load supporting capacity when wet.	2" A/C on existing soil	3" A/C on existing soil	3" A/C on 5" aggregate base or 4" aggregate base or 5" A/C on existing soil
MEDIUM BASE Silty sands and sand gravels containing moderate amounts of clay and fine silt. Retains moderate amount of firmness under adverse moisture conditions.	2" A/C on 6" of decomposed granite base or 3" A/C on 3" aggregate base or 4" on existing soil	3" A/C on 5" aggregate base or 4" A/C on 3" aggregate base or 5" on existing soil	3" A/C on 7" aggregate base or 4" A/C on 5.5" aggregate base or 6" A/C on existing soil
POOR BASE Soils having appreciable amounts of clay and fine silt. Soils become quite soft and plastic when wet.	3" A/C on 5.5" aggregate base or 5" A/C on existing soil	3" A/C on 8" aggregate base or 4" A/C on 5.5" aggregate base or 6" A/C on existing soil	3" A/C on 12" aggregate base or 4" A/C on 10.5" aggregate base or 8" A/C on existing soil

* This paving thickness design for A/C paving shall be used unless a pavement design by a registered civil engineer is submitted and approved by the Community Development Department.

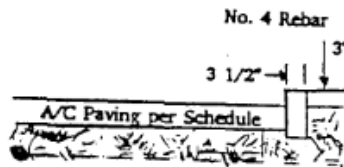
- TREATMENT FOR EDGE OF A/C PAVING.** Protection of all A/C paving edges is required by 2" x 4" redwood strips staked 4' O/C and at corners of appropriate concrete curb or A/C berm.

REDWOOD STRIP

2" x 4" (nominal) redwood border on all A/C pavement edges (not required for portland cement concrete)



CONCRETE CURB

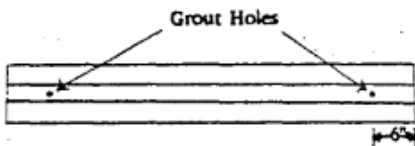


ASPHALT BERMS

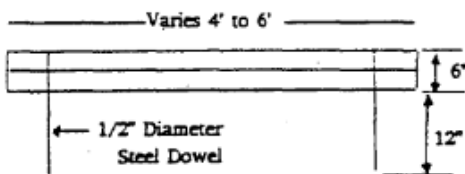


2. WHEEL STOP DETAILS

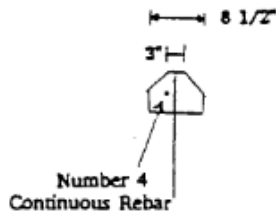
TOP VIEW



FRONT VIEW

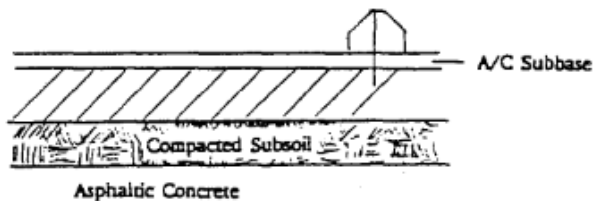
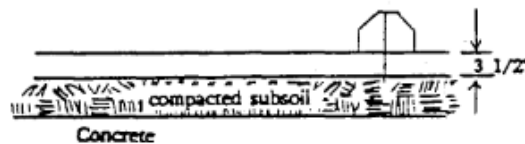


END VIEW

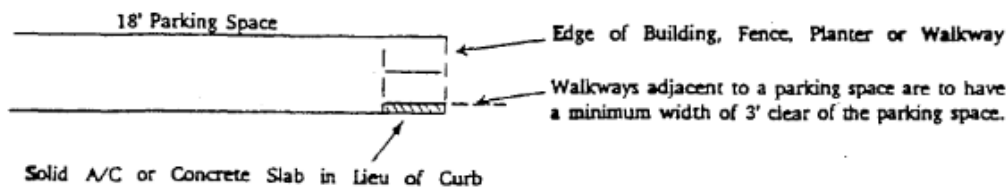


PAVING

All parking spaces or areas and loading spaces & driveways serving them shall be hard-surfaced with asphalt concrete (A/C) paving schedule or 3 1/2" of portland cement concrete.



OPTIONAL WHEEL STOP



SECTION II. DRIVEWAYS

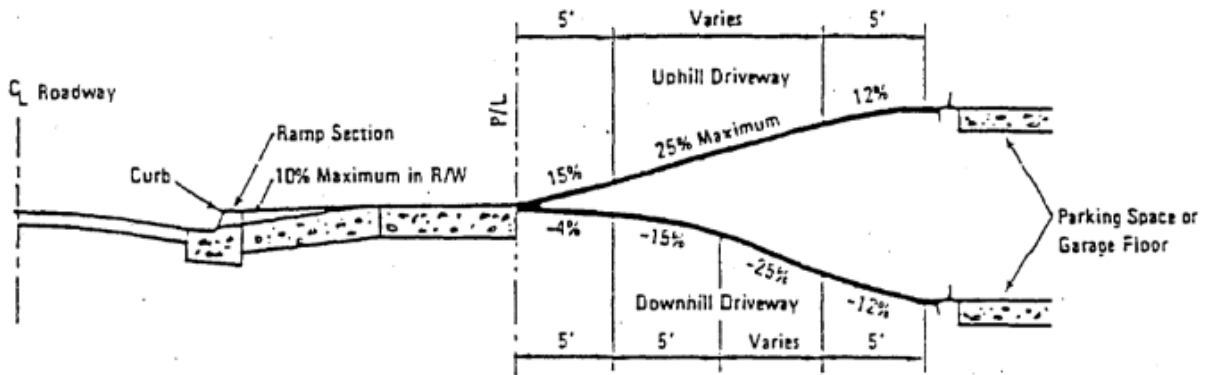
A. DESIGN STANDARDS

1. Please refer to the Appendix for driveway standards as required by the City Public Works Department.
2. Driveways shall be a minimum of 25 feet from the curb return of any intersection.
3. Parking stalls in commercial areas shall be accessed from the lot not from the alley or street.
4. A minimum 15-foot sight triangle free of landscaping over two feet tall or other obstructions must be maintained at all vehicular access points.

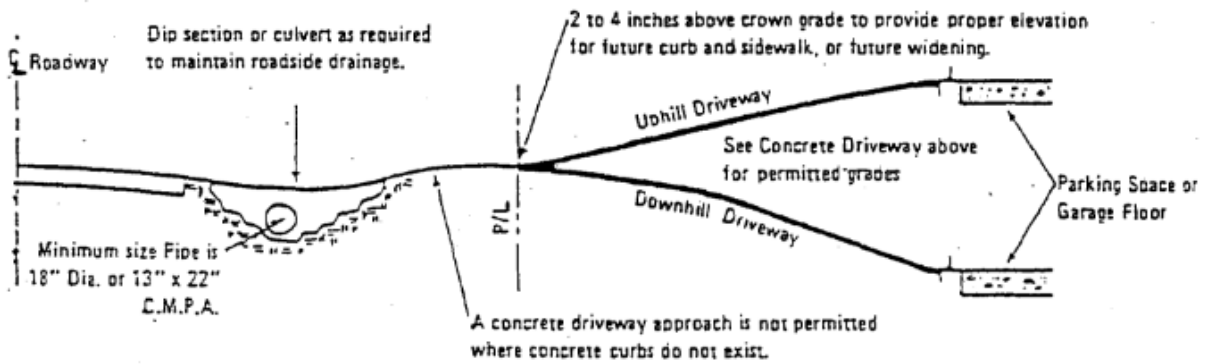
B. TYPICAL DRIVEWAY PROFILES

1. Driveways with grades greater than 15% shall be surfaced with asphalt concrete or portland cement concrete.
2. Portland cement concrete driveways with grades greater than 14% shall have a deep broom finish perpendicular to the direction of travel.
3. Maximum grade break is 14%.
4. Driveways serving parking lots (5 or more spaces) shall not exceed 15% slope.

EXISTING CONCRETE CURB (Concrete Driveway)



NO CURB (Asphaltic Concrete, D.G., or Dirt Driveway)



SECTION III. LANDSCAPING

A. GENERAL REQUIREMENTS

1. EMC 30.54.060 (Parking Area Landscaping) requires, that a minimum of 15% of all parking areas including all parking and on-site circulation shall be landscaped in conformance with this Design Manual and with the City of Encinitas Objective Design Standards and Guidelines.
2. EMC 30.20.010(G) (Commercial Landscaping) stipulates requirements for landscaping on commercial properties.
3. EMC 23.26 (Water Efficient Landscape Regulations) stipulates requirements for water efficient landscaping.